

163 BEXLEY RD, KINGSGROVE

PROPOSED  
GRANNY FLAT, STUDIO & SWIMMING POOL



CONCEPT TO REALITY

SITE ADDRESS: 163 Bexley Road, Kingsgrove  
LOT: C | SEC: | DP: 321575  
ISSUED FOR: Issued for DA  
PROJECT TYPE: Residential

SCALE: 1 : 1    DATE: Jan 2022    REV: B    SHEET NO: 00

PROJECT NO: C2132

DEVELOPMENT DATA

LOT SIZE: 998.7m <sup>2</sup>			
COUNCIL COMPLIANCE	ALLOWED	PROVIDED	COMPLY
MIN FRONTAGE	N/A	13.1m	YES
MAX SITE COVERAGE	40% = 399.48m <sup>2</sup>	399.13m <sup>2</sup>	YES
FLOOR SPACE RATIO	0.5:1 = 499.35m <sup>2</sup>	367.13m <sup>2</sup>	YES
MAX BUILDING HEIGHT	8.5m	4.2m	YES
FRONT SETBACK	G= 5.5m	G= 63.93	YES
SIDE SETBACK 1	1.5m	1.5m	YES
SIDE SETBACK 2	1.5m	4.39m	YES
REAR SETBACK	5.0m	5.0m	YES
CORNER SETBACK	N/A	N/A	N/A
LANDSCAPE AREA	min 35% = 349.54m <sup>2</sup>	372m <sup>2</sup>	YES
PRIVATE OPEN SPACE	24m <sup>2</sup>	146m <sup>2</sup>	YES
SITE CALCULATION			
EXISTING DWELLING	299.13m <sup>2</sup>		
PROPOSED GRANNY FLAT	60m <sup>2</sup>		
PROPOSED STUDIO	38m <sup>2</sup>		

AERIAL MAP



LOCATION MAP



Sheet Schedule

- 00 Cover Page
- 0.1 Title Page
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- 0.3 Basix Comments
- 01.0 Site Plan
- 01.1 Site Analysis
- 02.0 Ground Floor Plan
- 03.0 North & South Elevation
- 03.1 East & West Elevation
- 03.2 Sections
- 05.0 Concept Landscape Plan
- 06.0 Schedules
- 07.0 Neighbour Notification



10 Emery Ave, Yagoona, NSW, 2199  
www.cedardesign.com.au  
info@cedardesign.com.au  
A.B.N: 87 616 143 661  
Phone: 0422 704 479



Reg #: 2125/16

NOTE:  
\* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.  
\* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.  
\* Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.  
\* All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes & Standards  
\* These drawings are not to be used for construction unless drawings are stamp endorsed by Building Surveyor.  
\* These documents may only be used for the purposes for which was commissioned and in accordance with the Terms of Engagement.

SITE ADDRESS: 163 Bexley Road, Kingsgrove  
LOT C | SEC: | DP:321575  
ISSUED FOR: Issued for DA

PROJECT TYPE: Residential

SCALE: 1 : 100    DATE: Jan 2022    REV: B    SHEET NO: 0.1

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# STANDARD SPECIFICATION

BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

## 1.0 GENERAL

- 1.1 ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT ANY WORK.
- 1.2 ALL MATERIALS SHALL COMPLY WITH RELEVENT CURRENT AUSTRALIAN STANDARDS AND SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND SUITABLE FOR THEIR INTENDED PURPOSES.
- 1.3 ALL WORKMANSHIP SHALL COMPLY WITH RELEVENT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES.
- 1.4 ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- 1.5 THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORMS PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT."
- 1.6 DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS.
- 1.7 ENSURE THAT BACKGROUNDS ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE BACKGROUNDS IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE BACKGROUNDS ON WHICH FINISHES ARE APPLIED.
- 1.8 SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF RESPECTIVE WORKS.
- 1.9 PROGRESSIVELY CLEAN UP AFTER THE COMPLETION OF RESPECTIVE WORKS.

## 2.0 EARTHWORKS

- 2.1 UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR THE BUILDER. PROVIDE SUITABLE CLEAN FILLING SAND AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.
- 2.2 COMPACT SAND FILLING AND SANDY SUB GRADES UNDER FOOTINGS AND SLAB TO OBTAIN MIN. SEVEN (7) BLOWS PER 300mm ON A STANDARDS PERTH SAND PENEFROMETER TEST (AS PER AS 1289 F3.3)
- 2.3 DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGEL OF 45 DEGREES DOWN FROM BOTTOM EDGE OF FOOTING.
- 2.4 ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT.

## 3.0 CONCRETE

- 3.1 CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO A STRUTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS
- 3.2 ALL CONCRETE TO CONFORM TO THE REQUIREMENTS OF AS 3600 CONCRETE STRENGTH GRADE: N20, AGGREGATE 20mm, SLUMP 80mm.
- 3.3 SLAB IS TO BE CURED FOR 7 DAYS MIN. & SLAB REINFORCEMENT PLACED ON APPROVED CHAIRS TO IMPROVE CRACK CONTROL.
- 3.4 THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870.
- 3.5 PROVIDE A PROPRIETARY VAPOR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN. 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER.
- 3.6 TERMITE PROTECTION:  
PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS. BUILDER SHALL PROVIDE "DURSBAN" (HAND SPRAYED ORGANO-PHOSPHATE) OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES.

## 4.0 BRICKWORK

- 4.1 BRICK WORK SHALL COMPLY WITH :  
AS 3700 MASONRY CODE  
AS A123 MASONRY CODE  
MORTAR FOR MASONRY CONSTRUCTION
- 4.2 BRICK GAUGE 7 STANDARD COURSES = 600mm.
- 4.3 ALL BRICKS SHOULD HAVE MIN. COMPRESSIVE STRENGTH OF 20MPa AND AS FOLLOWS:  
EXTERNAL FACE WORK: 230x110x76mm  
EXTERNAL RENDER: 305x162x90mm MAXIBRICK OR VERTICORE  
WINDOW SILLS: 2c FACE BRICK PLAYED SILLS  
WINDOW HEADS: SOLID FACEBRICK COURSE  
INTERNAL WALLS: 305x162x90mm MAXIBRICK OR VERTICORE  
WITH BED JOINT AND PERPENDS FILLED  
305x76x90mm LONGREACH OR JUMBO FOR COURSE ADJUSTMENT
- 4.4 MORTAR: 1:1:6 CEMENT:LIME:SAND  
MORTAR (FACE BRICK) COLOR TO MATCH EXISTING AS SELECTED
- 4.5 TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF THE OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm. VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE FILLED AT COMPLETION WITH 'COMPRIBAND' CONTINUOUS FILLER STRIP.
- 4.6 KEEP CAVITIES CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- 4.7 FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHINGS AND CAVITY FILL. KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHINGS.
- 4.8 PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK
- 4.9 SETOUT BRICKWORK ACCURATELY, PLUMB, LEVEL AND PROPERLY BONDED.  
RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC. TO BE TRUE, PLUMB, AND IN LINE WITH PERPENDS TRUE TO LINE.  
SETOUT DOOR FRAMES NEAR PERPANDICULAR WALL WITH A MARGIN OF 12mm OR GREATER THAN 50mm.

- 4.10 MOISTEN ALL EXTRUDED BRICKS BEFORE LAYING.
- 4.11 PROVIDED 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.
- 4.12 WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF LOCATED IN 2 COUSES BELOW SILL AND IN THE 2 COURSES ABOVE AN OPENING EXTENDING A MINIMUM OF 600mm BEYOND THE OPENING.
- 4.13 BUILD IN ALCOR/PGI FLASHINGS AS FOLLOWS:  
-WHEREVER SHOWN ON DRAWINGS.  
-CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED.)  
-OVER LINTELS TO EXPOSED OPENINGS:  
FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO INNER LEAF 2c ABOVE.  
-OVER ROOF:  
FULL WIDTH OF EXTERAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT INTO INNER LEAF 1c ABOVE.  
-DOOR / WINDOW STILES:  
FULL HIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT EACH END.  
-STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY:  
VERTICAL FLASHINGS CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300mm WIDE. FOR HORIZONTAL STRUCTURES / SERVICES:  
CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS.  
-AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAVE.

## 4.14 LINTELS

MAX SPAN (mm)	LINTELS SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

## 5.0 CARPENTRY WORK

- 5.1 ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP.
- 5.2 REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS.
- 5.3 SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.

## 6.0 METALWORK

- 6.1 ELECTRIC AND GAS METER BOXES AS SHOWN IN DRAWINGS
- 6.2 WINDOW FRAMES SHALL BE RESIDENTIAL OR COMMERCIAL SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER. ALLOW FOR FLYSCREENS TO ALL WINDOWS. REFER TO ADDENDUM. ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS COMPLETE UNIT.
- 6.3 CLOTHES HOIST: REFER TO ADDENDUM.

## 7.0 ROOFING

- 7.1 SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES
- 7.2 GUTTER, FASCIA, DOWN PIPES, FLASHINGS SHALL BE IN LONGEST POSSIBLE LENGTHS AND SHALL MATCH EXISTING.
- 7.3 DOWN PIPES SHALL MATCH EXISTING.
- 7.4 ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.
- 7.5 ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHINGS, FLUMES THROUGH ROOF.
- 7.6 FIX GUTTERS & FLASHINGS TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH
- 7.7 SEAL BETWEEN OVERLAPPING FLASHINGS; FLASHINGS TURNED DOWN OVER BASE OR APRON FLASHINGS; FLASHINGS OVER METAL ROOF; FLASHINGS OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.

## 8.0 JOINERY

- 8.1 ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.
- 8.2 EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.
- 8.3 SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.
- 9.1 CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR GYPSOCK.
- 9.2 FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE
- 9.3 PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES.
- 9.4 PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS STATED IN ARCHITECTURAL DOCUMENTS.

## 9.0 CEILINGS

- 9.1 CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR GYPSOCK.
- 9.2 FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE
- 9.3 PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES.
- 9.4 PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS STATED IN ARCHITECTURAL DOCUMENTS.

## 10.0 PLASTERING

- 10.1 INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN, & FRIDGE RECESSES, ETC. SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O.
- 10.2 PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9, CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER.
- 10.3 SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS.
- 10.4 PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK
- 10.5 EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING)
- 10.6 NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
- 10.7 PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR JOINS ONTO CONCRETE WORK.

## 11.0 GLAZING

- 11.1 CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS. ALL TO THE RELEVANT AUSTRALIAN STANDARDS.
- 11.2 WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURES SPECIFICATIONS.

## 12.0 FLOORING FINISHES

- 12.1 CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC, TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.2 PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS ANGLE TRIMS, ETC. TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.3 PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, DIMINISHING BOARDS ETC. TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED & POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS & FINISHERS SCHEDULE.

## 13.0 SIGNAGE

- 13.1 WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT AND TO LETTERBOXES AS SCHEDULED.
- 13.2 "SUPERDRAFT" RESERVES THE RIGHT TO ERECT A BUILDERS SIGN ON THE PROPERTY FACING THE STREET FRONTAGE IN COMPLIANCE WITH AUTHORITY REQUIREMENTS.

## 14.0 PAVING

- 14.1 GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT, THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD
- 14.2 SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS.
- 14.3 CUT, FILL AND COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS
- 14.4 PROVIDE BRICK EDGE-RETRAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK, GENERALLY. TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.
- 14.5 PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS.
- 14.6 PAVING PATTERN: REFER TO ADDENDUM.
- 14.7 BRICK PAVERS SHALL BE:  
TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE  
PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE

## NATIONAL CONSTRUCTION CODE (NCC)

### Section A General Provisions

Vol. 2 Part 1.3, Clouse 1.3.2 Classifications:  
CLASS 1 : One or more buildings which in association constitute -  
(a) Closs IA-A single dwelling, being -  
(i) a detached house, or  
(ii) one or more attached dwellings, each being a building, separated by a fire-resisting wall, including a row house, terrace house, town house or villa unit;  
CLASS 10: A non-habitable building being a private garage, carport, shed, or the like.

### Section C Fire Separation

Part 3.7. 1 Fire Separation 3.7.1.1 Application  
Compliance with this Port satisfies Performance Requirement P2.3. 1 for fire separation.

3.7.1.2 General Concession - Non-combustible materials  
The following materials, though combustible or containing combustible fibres, may be used wherever a non-combustible is required in the Housing Provisions:  
(a) plasterboard, and  
(b) perforated gypsum lath with a normal paper finish, and  
(c) fibrous-plaster sheet. and  
(d) fibre-reinforced cement sheeting, and  
(e) pre-finished metal sheeting having a combustible surface finish not exceeding 1 mm thick and where the Spread-of-Flame Index of the product is not more than O; and  
(f) bonded laminated materials. where -  
(i) each laminate is non-combustible; and  
(ii) each adhesive layer is not more than 1 mm thick; and  
(iii) the total thickness of adhesive layers is not more than 2mm; and  
(iv) the Spred-of-Flame Index and the Smoke-Development Index of the laminated material as a whole does not exceed O and 3 respectively.

### 3.7.1.3 External Walls of Class 1 buildings

An external wall of a Class 1 building and any openings in that wall must comply with 3.7. 1.5, if the wall is less than-  
(a) 900mm from the allotment boundary other than the boundary adjoining a road alignment or other public space; or  
(b) 1.8m from another building on the some allotment other than appurtenant Class 10 building or a detached port of the same Class 1 building.

### 3.7.1.4 Measurement of distances

(a) The distance from any point on an external wall of a building to an allotment boundary or another building is the distance to that point measured along a line at right angles from the allotment boundary or external wall of the other building which intersects that point without obstruction by a wall complying with 3.7. 1. 5.  
(b) Where a wall within a specified distance is required to be constructed in a certain manner, only that port of the wall, (including any openings) within the specified distance. must be constructed in that manner.

### 3.7.1.5 Construction of External Walls

(a) External walls (including gables) required to be fire-resisting [Referred to in 3.7. 1. 3 or 3.7. 1.6) must extend to the underside of a non-combustible roof covering or non-combustible eaves lining, and must-  
(i) hove on FRL of not less than 60/60/60 when tested from the outside; or  
(ii) be of masonry-veneer construction in which the external masonry veneer is not less than 90mm thick; or  
(iii) be of masonry construction not less than 90mm thick.

(B) Openings in external walls required to be fire-resisting [referred to in 3.7. 1.3 or 3.7. 1. 6) must be protected by-  
(i) non-operable fire-windows or other construction with on FRL of not less than -/60/-; or  
(ii) self-closing solid-core doors not less than 35mm thick.

(c) Sub-floor vents, roof vents, weep holes and penetrations for pipes, conduits and the like need not comply with (b) above.  
(d) Concessions for non-habitable room windows, conduits and the like Despite the requirements in (b). in a non-habitable room a window that faces the boundary of an adjoining allotment may be not less than 600mm from that boundary, or, where the building faces another building on the some allotment, not less than 1.2m from that building; providing thot-  
(i) in a bathroom, laundry or toilet, the opening hos on area of not more than 1.2sqm; or  
(ii) in a room other than referred to in (i). opening hos on area of not more than 0.54sqm; ond-  
(A) the window is steel-framed, there ore no opening sashes and it is glazed in wire gloss; or  
(B) the opening is enclosed with hollow gloss blocks.

### 3.7.1.8 Separating walls

(a) A wall that separates Closs 1 dwellings, or separates a Closs 1 building from a Closs 1 0a building which is not opurtenont to that Closs 1 building, must hove on FRL of not less than 60/60/60, and-  
(i) commence at the footings or ground slob; and  
(ii) extend-  
(A) if the building hos a non-comustible roof covering, to the underside of the roof covering; or  
(B) if the building hos a combustible roof covering, to not less than 450mm above the roof covering.

### SPECIFICATION C1. 10 Fire Hazard Properties

Materials used in the building having flomobility, smoke developed and spread-of-flame indices as set-out in Spec. C 1.10.

### SECTION F Health and Amenity

#### Part F1: Damp and Weatherproofing

- Stormwoter drainage must comply with AS/NZS 3500.3.2
- Roof covering to comply with F 1.5
- Sorking must comply with AS/NZS 4200, Ports 1 and 2
- Water proofing of wet areas in buildings to comply with F1.7
- Damp-proofing of floors on ground to comply with F1.11

#### Port F3.7: Fire safety

Automatic fire detection system to be provided in accordance with Port 3.7.2 General concession: Port 3.7.2: Smoke alarms - requirements for smoke alarms:

(a) Smoke alarms must be installed in:  
(i) any storey containing bedrooms.

#### Port 3.8: Health and amenity

Wet areas within the building must comply with the requirements of Port 3.8.1 Wet areas.

#### Part 3.8.6: Sound insulation requirements

3.8.6.1 Application - Compliance with this Port satisfies performance requirement P2.4.6 for sound insulation.

#### 3.8.6.2 Sound insulation requirements

(a) to provide insulation from air-born and impact sound, a separating wall between two or more Class 1 buildings, must-  
(i) achieve the weighted sound reduction with spectrum adoption term [Rw+Ctr] and discontinuous construction requirements, as required by Tobie 3.8.6.1; and  
(ii) be installed in accordance with the appropriate requirements of 3.8.6.3 and 3.8.6.4.  
(b) For the purpose of this Port, the Rw+Ctr must be determined in accordance with As/NZS 127 6.2 or ISO 717. 1, using results from laboratory measurements.

#### Port 3.9: Safe movement and access

The treads and risers of the proposed stairs ore to comply with Port 3. 9. 1.2 General requirements.

NOTE:  
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\* These documents may only be used for the purposed for which was commissioned and in accordance with the Terms of Engagement.



10 Emery Ave, Yagoona, NSW, 2199  
www.cedardesign.com.au  
info@cedardesign.com.au  
A.B.N: 87 616 143 661  
Phone: 0422 704 479



Reg #: 2125/16

**SITE ADDRESS:** 163 Bexley Road, Kingsgrove

**LOT C | SEC: | DP:**321575

**ISSUED FOR:** Issued for DA

**PROJECT TYPE:** Residential

**SCALE:** 1 : 100

**DATE:** Jan 2022

**REV:** B

**SHEET NO:** 0.2

PROJECT NO : C2132

Single Dwelling

Certificate number: 1271761S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Monday, 10 January 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Certificate Prepared by		
Name / Company Name: Cedar Design & Construct P/L		
ABN (if applicable): 87616143661		

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features				
The dwelling must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.		✓	✓	✓
The dwelling must not contain third level habitable attic room.		✓	✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications		
floor - concrete slab on ground	nil			
external wall - brick veneer	2.86 (or 3.40 including construction)			
external wall - brick veneer	2.86 (or 3.40 including construction)			
external wall - brick veneer	2.86 (or 3.40 including construction)			
external wall - brick veneer	2.86 (or 3.40 including construction)			
ceiling and roof - flat ceiling / pitched roof	ceiling: 4.5 (up), roof: foil/sarking	gable end vents; medium (solar absorbance 0.475-0.70)		
Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>				
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.		✓	✓	✓
<b>Cooling system</b>				
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER > 4.0			✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER > 4.0			✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.			✓	✓
<b>Heating system</b>				
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.			✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.			✓	✓
<b>Ventilation</b>				
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off			✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off			✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off			✓	✓
<b>Artificial lighting</b>				
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 2 of the bedrooms / study; dedicated • at least 1 of the living / dining rooms; dedicated			✓	✓

Description of project

Project address		Assessor details and thermal loads	
Project name	C2132 - 163 Bexley Rd, Kingsgrove	Assessor number	n/a
Street address	163 Bexley Road Kingsgrove 2208	Certificate number	n/a
Local Government Area	Canterbury-Bankstown Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 321575	Area adjusted cooling load (MJ/m² year)	n/a
Lot no.	C	Area adjusted heating load (MJ/m² year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
<b>Project type</b>		Ceiling fan in at least one living room or other conditioned area	n/a
Project type	separate dwelling house - secondary dwelling	<b>Project score</b>	
No. of bedrooms	2	Water	✓ 47 Target 40
Site details		Thermal Comfort	✓ Pass Target Pass
Site area (m²)	999	Energy	✓ 52 Target 50
Roof area (m²)	121		
Conditioned floor area (m2)	55.8		
Unconditioned floor area (m2)	4.04		
Total area of garden and lawn (m2)	0		
Roof area (m2) of the existing dwelling	307		
No. of bedrooms in the existing dwelling	5		

Thermal Comfort Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.				✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓	✓
For the following glass and frame types, the certifier check can be performed by visual inspection.						✓
Aluminium single clear						✓
Aluminium double (air) clear						
Timber/uPVC/fibreglass single clear						
Timber/uPVC/fibreglass double (air) clear						
For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.						✓
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing	
<b>North facing</b>						
D1	2143	2290	aluminium, single, clear	verandah 5500 mm, 2400 mm above base of window or glazed door	not overshadowed	
W6	900	600	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	verandah 5500 mm, 2400 mm above base of window or glazed door	not overshadowed	
<b>East facing</b>						
W1	1800	600	aluminium, single, clear	eave 450 mm, 150 mm above head of window or glazed door	not overshadowed	
W2	1800	600	aluminium, single, clear	eave 450 mm, 150 mm above head of window or glazed door	not overshadowed	
<b>South facing</b>						

Energy Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• the kitchen; dedicated			✓	✓
• all bathrooms/toilets; dedicated			✓	✓
• the laundry; dedicated			✓	✓
• all hallways; dedicated			✓	✓
<b>Natural lighting</b>				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.		✓	✓	✓
<b>Other</b>				
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.			✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.			✓	

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 121 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			✓
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W3	900	1800	aluminium, single, clear	eave 450 mm, 150 mm above head of window or glazed door	not overshadowed
<b>West facing</b>					
W4	900	1800	aluminium, single, clear	eave 450 mm, 150 mm above head of window or glazed door	not overshadowed
W5	900	1800	aluminium, single, clear	eave 450 mm, 150 mm above head of window or glazed door	not overshadowed

NOTE:  
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\* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.  
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\* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.  
\* These documents may only be used for the purpose for which was commissioned and in accordance with the Terms of Engagement.

**SITE ADDRESS:** 163 Bexley Road, Kingsgrove  
**LOT C | SEC:** | **DP:**321575  
**ISSUED FOR:** Issued for DA

**PROJECT TYPE:** Residential

**SCALE:**

**DATE:** Jan 2022

**REV:** B

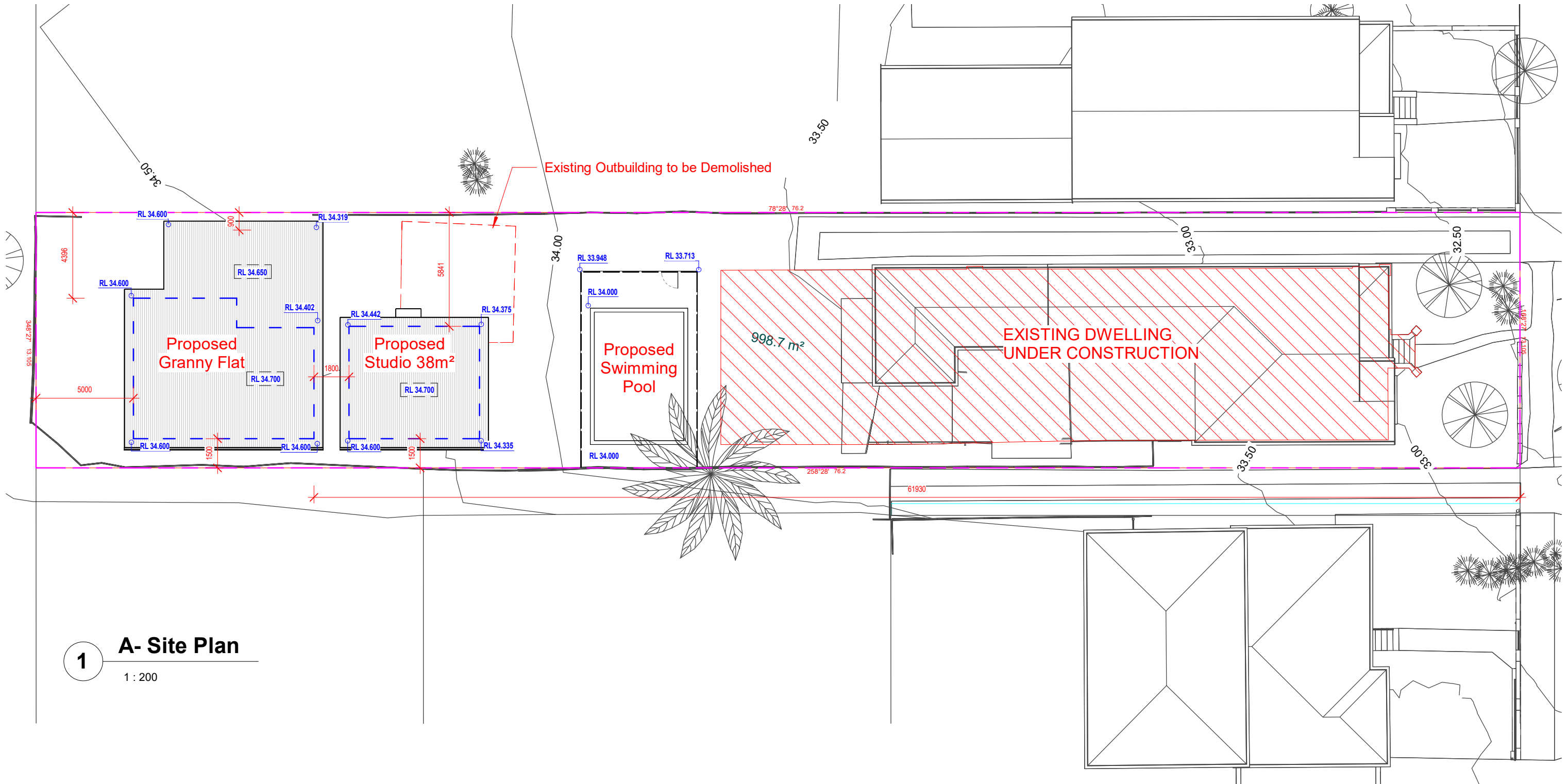
**SHEET NO:** 0.3



10 Emery Ave, Yagoona, NSW, 2199  
www.cedardesign.com.au  
info@cedardesign.com.au  
A.B.N: 87 616 143 661  
Phone: 0422 704 479



Reg #: 2125/16



1 A- Site Plan  
1 : 200

Site Plan Notes:

- \* All trees to be removed off site.
- \* All existing structure to be demolished off site.

NOTE:  
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CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
A	06.01.22	Initial Design	Khaled
B	07.01.22	Submission	Khaled

DRAWING TITLE: Site Plan  
DRAWN BY: K.Kabbout  
CHECKED BY: M.Shafie  
LOT: C | SEC: | DP:321575  
COUNCIL AREA : Canterbury-Bankstown Council

SITE ADDRESS: 163 Bexley Road, Kingsgrove  
CLIENT: Calvin  
ISSUED FOR: Issued for DA  
PROJECT TYPE: Residential  
SCALE: As indicated DATE: Jan 2022 REV: B



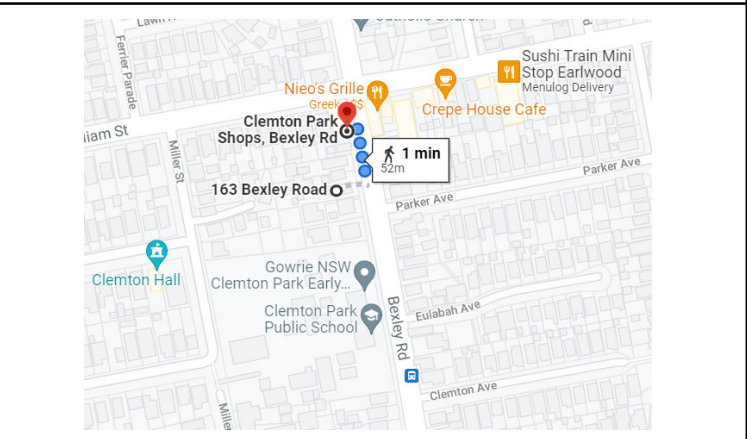
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info@cedardesign.com.au  
Phone: 0422 704 479  
A.B.N: 87 616 143 661  
Reg #: 2125/16

PROJECT NO: C2132

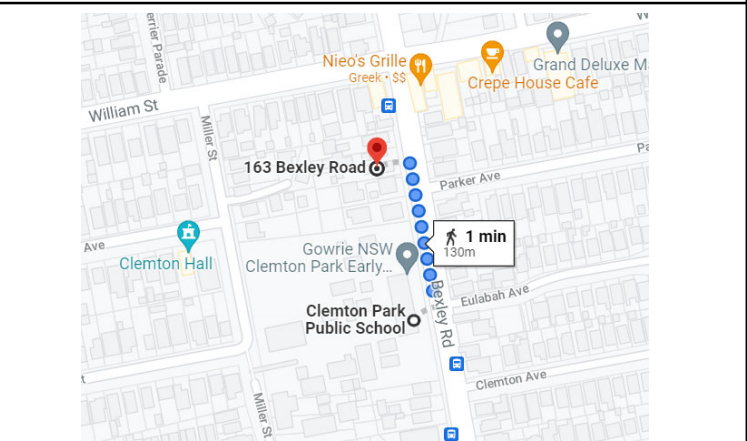
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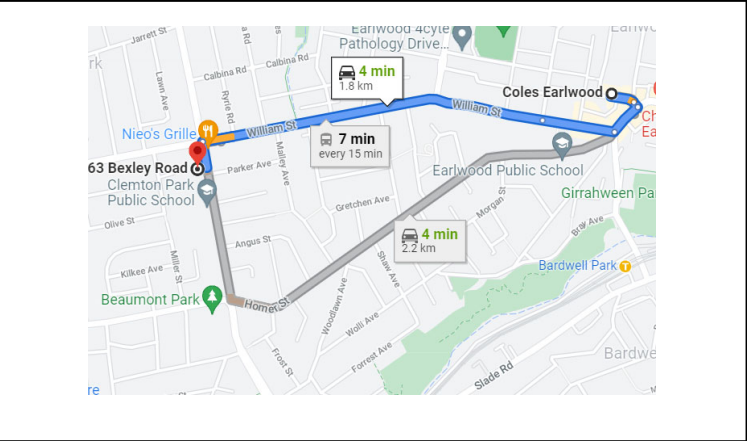
DISTANCE FROM PUBLIC TRANSPORT



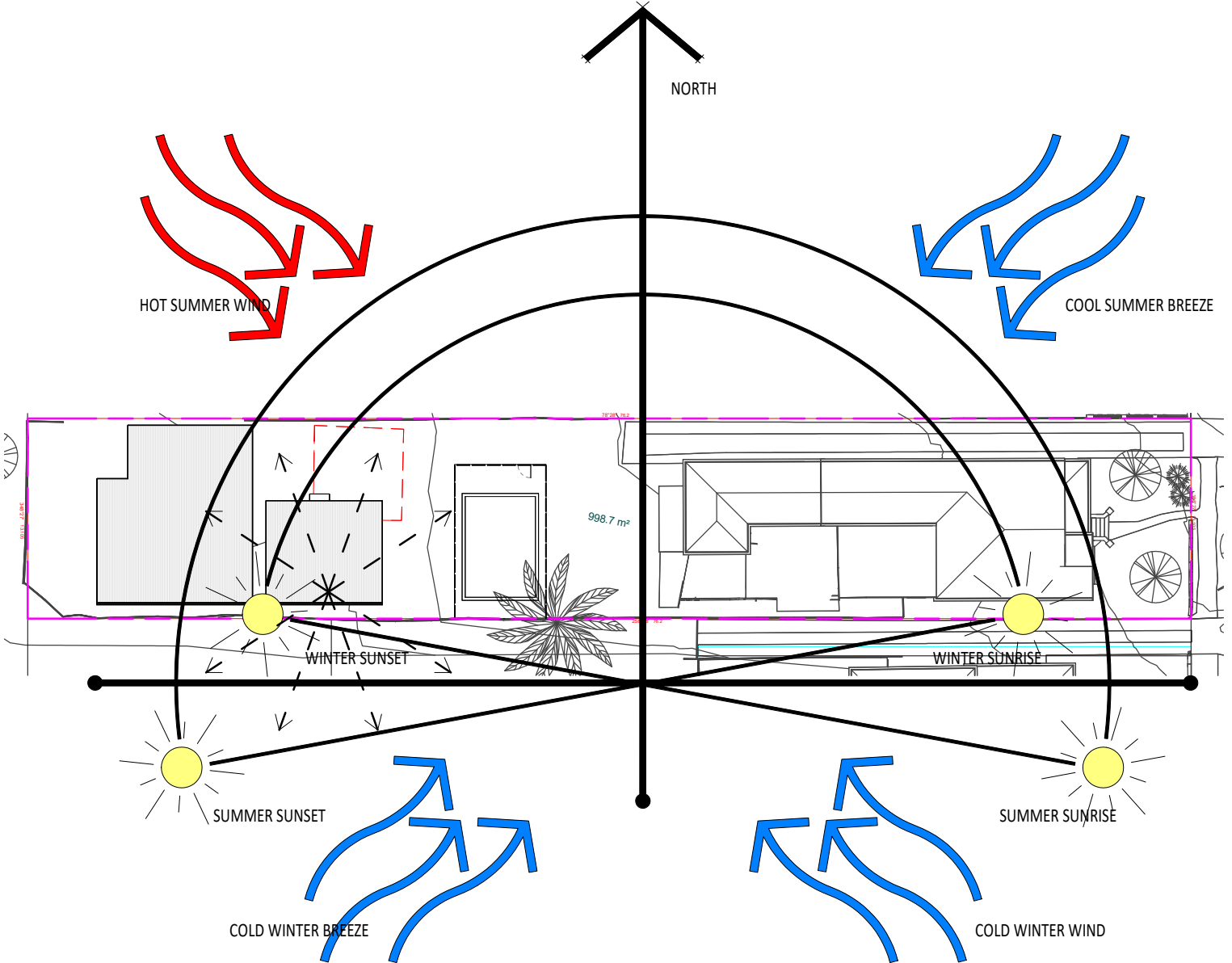
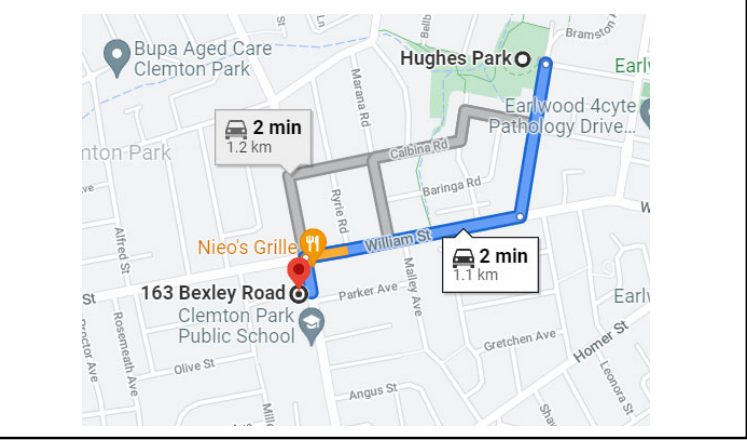
DISTANCE FROM SCHOOL



DISTANCE FROM SHOPPING COMPLEX



DISTANCE FROM PUBLIC PARK



**SITE ADDRESS:** 163 Bexley Road, Kingsgrove  
**LOT C | SEC:** | **DP:**321575  
**ISSUED FOR:** Issued for DA  
**PROJECT TYPE:** Residential

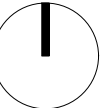
**SCALE:** As indicated **DATE:** Jan 2022 **REV:** B **SHEET NO:** 01.1



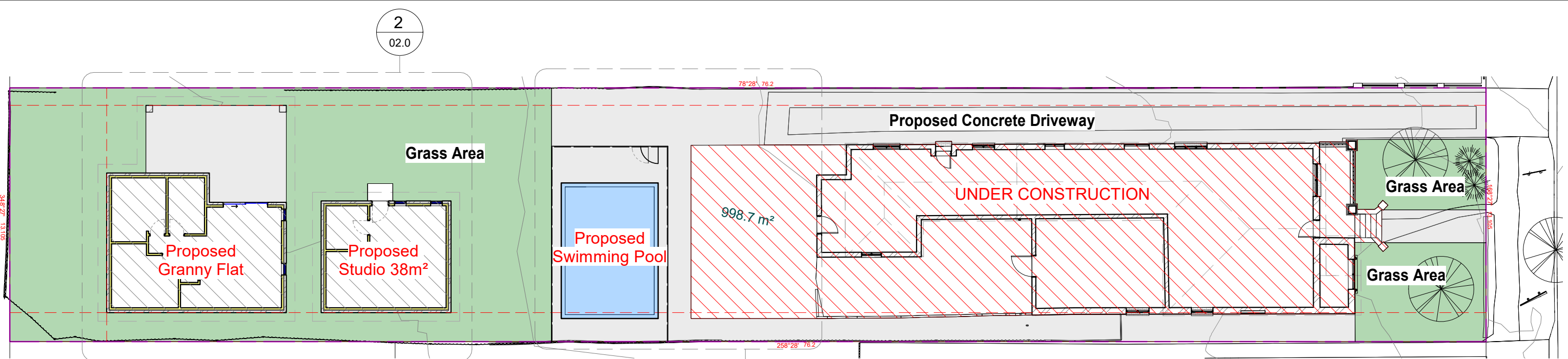
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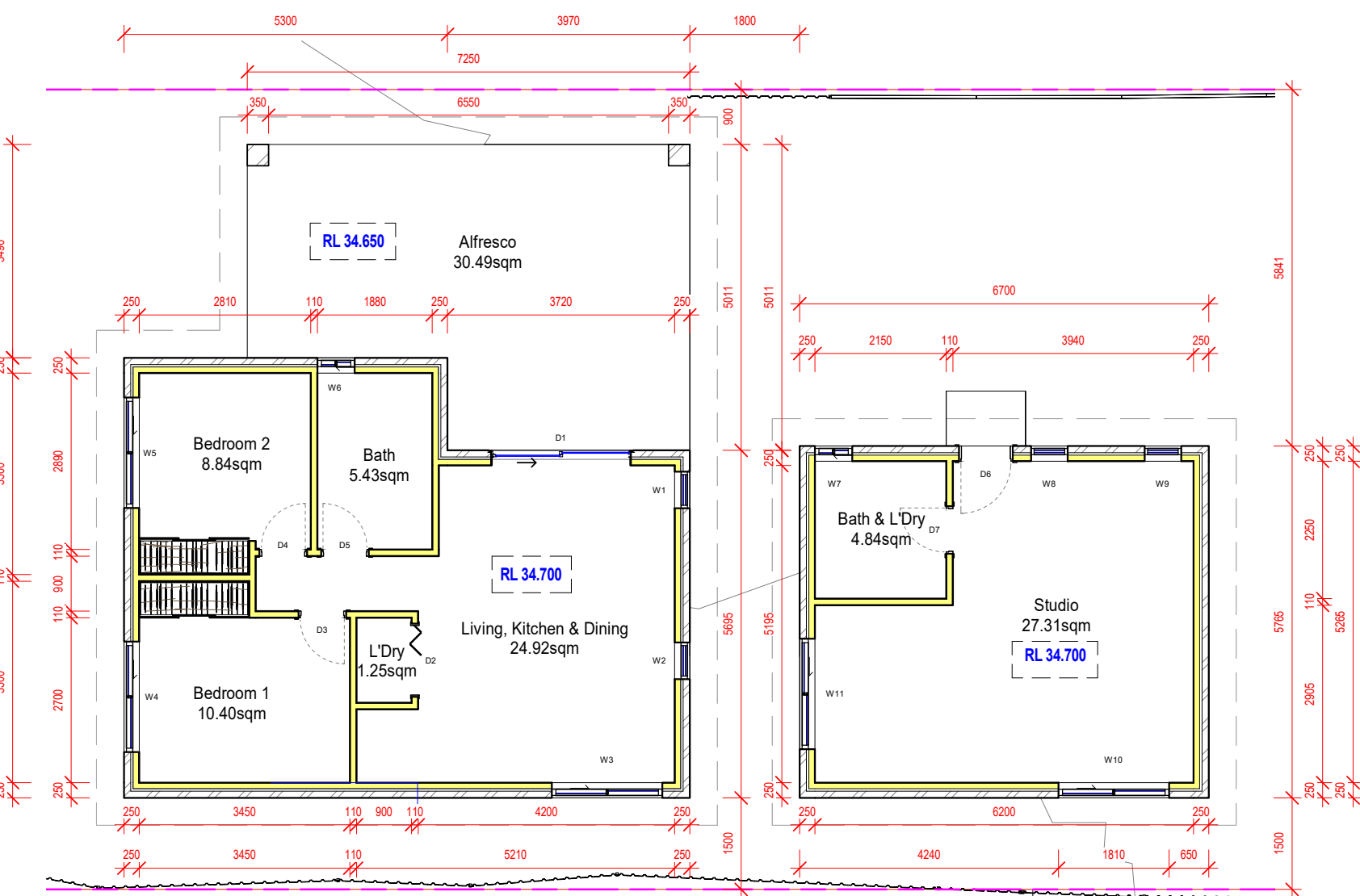
Reg #: 2125/16



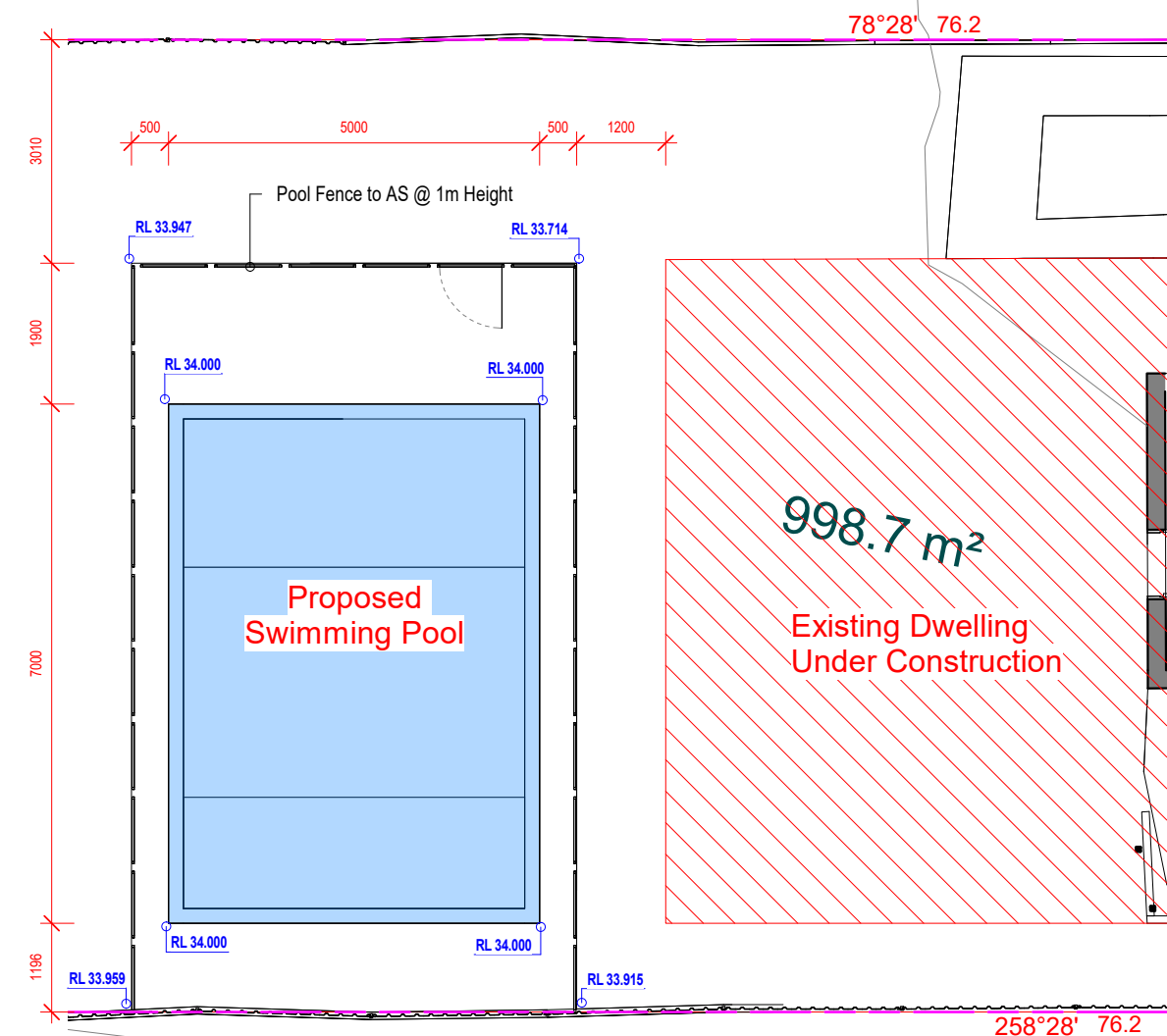
PROJECT NO: C2132



**1 A- Ground Floor Plan**  
1 : 200



**2 A- Granny Flat Plan**  
1 : 100



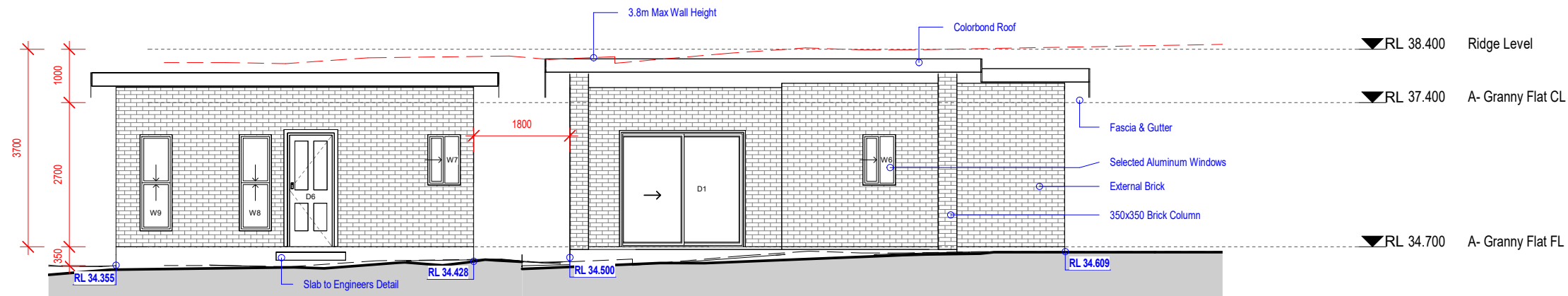
**3 A- Swimming Pool Plan**  
1 : 100

NOTE:  
 \* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.  
 \* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.  
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 \* These documents may only be used for the purpose for which was commissioned and in accordance with the Terms of Engagement.

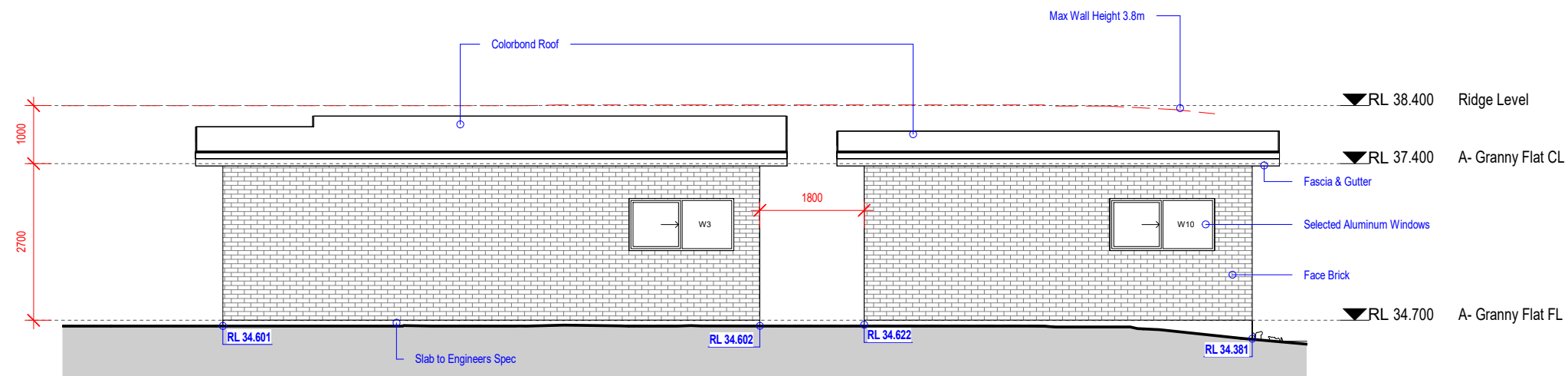
**SITE ADDRESS:** 163 Bexley Road, Kingsgrove  
**LOT C | SEC:** | **DP:** 321575  
**ISSUED FOR:** Issued for DA  
**PROJECT TYPE:** Residential  
**SCALE:** As indicated **DATE:** Jan 2022 **REV:** B **SHEET NO:** 02.0

**CEDAR**  
 DESIGN & CONSTRUCT  
 10 Emery Ave, Yagoona, NSW, 2199  
 www.cedardesign.com.au  
 info@cedardesign.com.au  
 A.B.N: 87 616 143 661  
 Phone: 0422 704 479  
**bda**  
 BUILDING DESIGN ASSOCIATION OF AUSTRALIA  
 Reg #: 2125/16

**PROJECT NO:** C2132



1 North Elevation  
1 : 100



2 South Elevation  
1 : 100

NOTE:  
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CONSULTANTS:


REV	DATE	DESCRIPTION	INITIAL
A	06.01.22	Initial Design	Khaled
B	07.01.22	Submission	Khaled

DRAWING TITLE: North & South Elevation  
DRAWN BY: K.Kabbout  
CHECKED BY: M.Shafie  
LOT: C | SEC: | DP:321575  
COUNCIL AREA: Canterbury-Bankstown Council

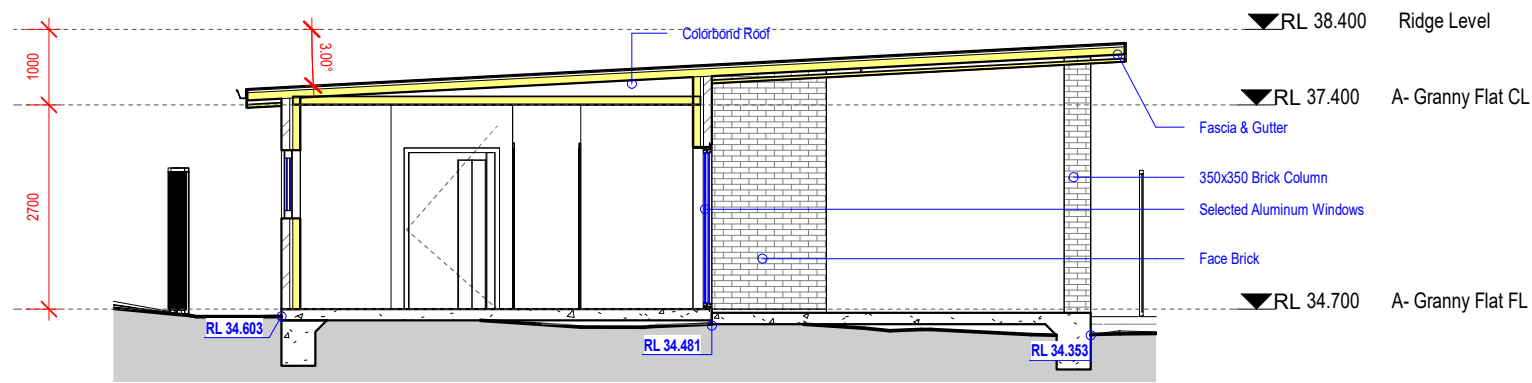
SITE ADDRESS: 163 Bexley Road, Kingsgrove  
CLIENT: Calvin  
ISSUED FOR: Issued for DA  
PROJECT TYPE: Residential  
SCALE: 1 : 100  
DATE: Jan 2022  
REV: B  
SHEET NO: 03.0



40 Hector St, Chester Hill NSW, 2162  
www.cedardesign.com.au  
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PROJECT NO: C2132

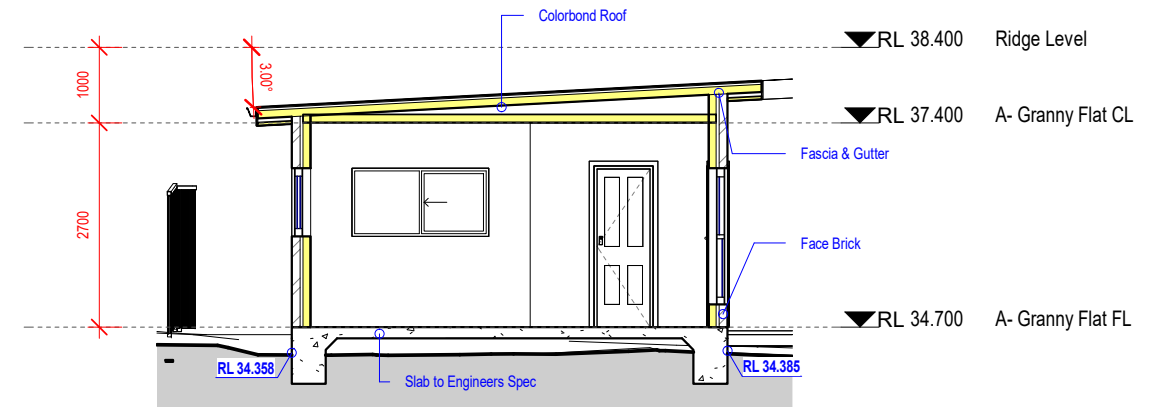




1

## East Elevation - Granny

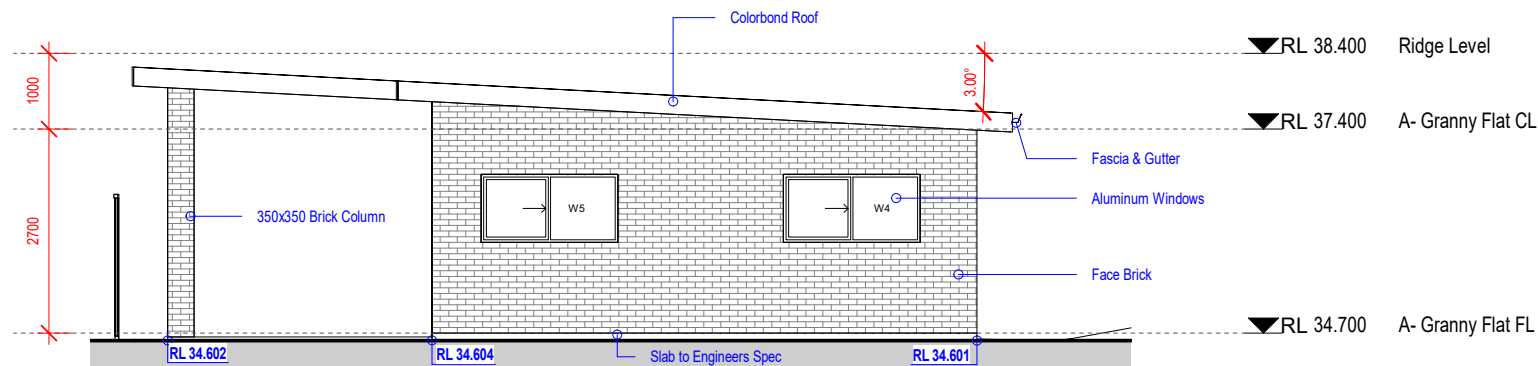
1 : 100



2

## East Elevation - Studio

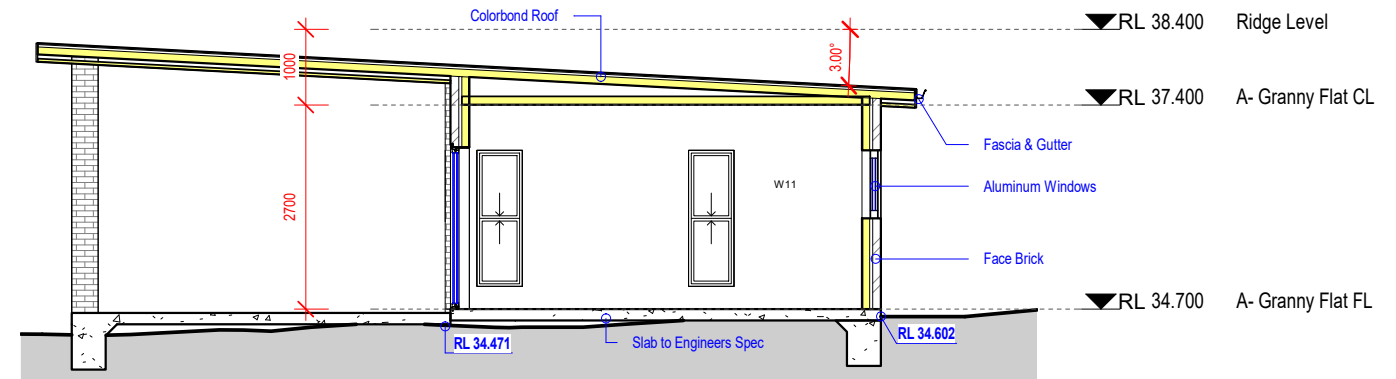
1 : 100



3

## West Elevation - Granny

1 : 100



4

## West Elevation - Studio

1 : 100

NOTE:  
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### CONSULTANTS:


REV	DATE	DESCRIPTION	INITIAL
A	06.01.22	Initial Design	Khaled
B	07.01.22	Submission	Khaled

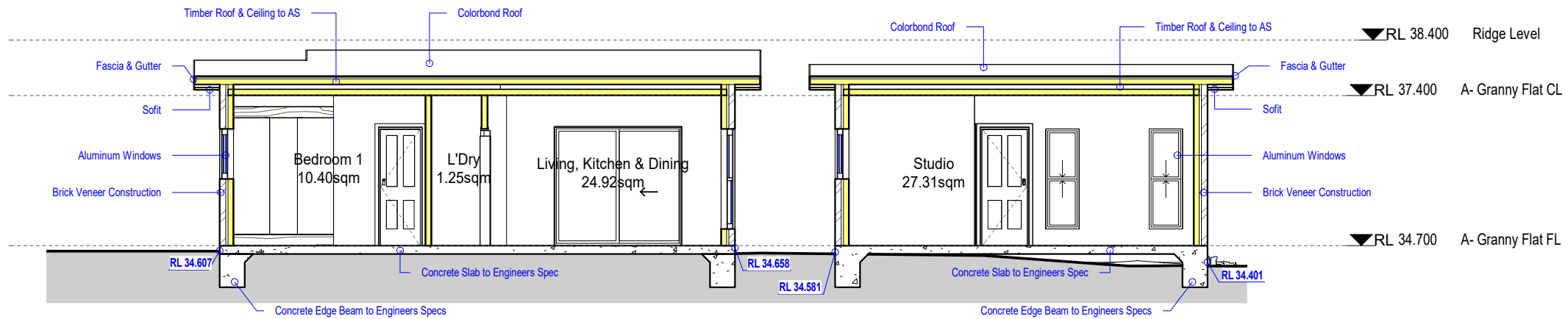
**DRAWING TITLE:** East & West Elevation  
**DRAWN BY:** K.Kabbout  
**CHECKED BY:** M.Shafie  
**LOT: C | SEC:** | **DP:** 321575  
**COUNCIL AREA :** Canterbury-Bankstown Council

**SITE ADDRESS:** 163 Bexley Road, Kingsgrove  
**CLIENT:** Kalvin  
**ISSUED FOR:** Issued for DA  
**PROJECT TYPE:** Residential  
**SCALE:** 1 : 100  
**DATE:** Jan 2022  
**REV:** B  
**SHEET NO:** 03.1

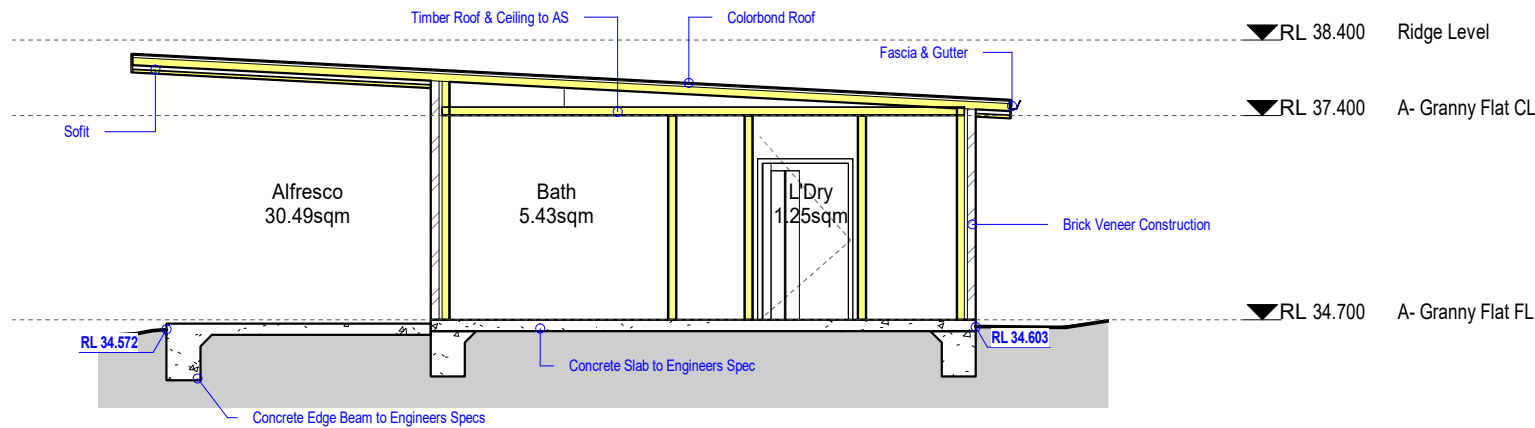


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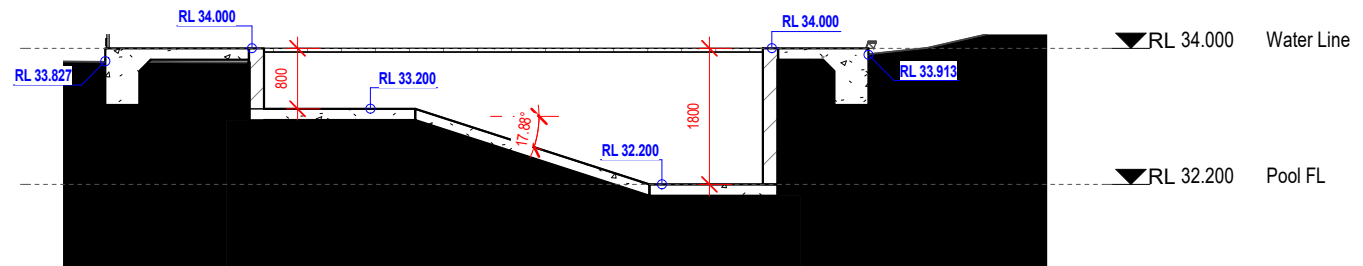
PROJECT NO: C2132



1 Long Section  
1 : 100



2 Cross Section  
1 : 100



3 Pool Section  
1 : 100

NOTE:

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CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
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B	07.01.22	Submission	Khaled

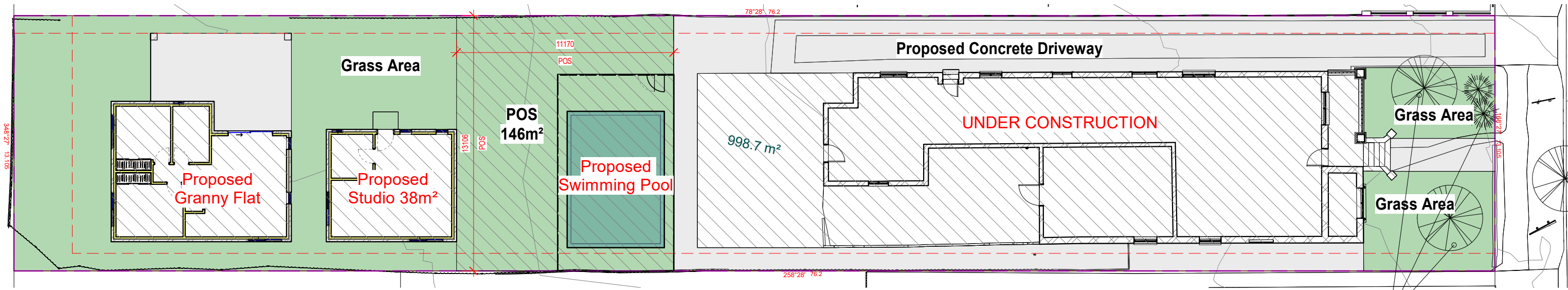
DRAWING TITLE: Sections  
DRAWN BY: K.Kabbout  
CHECKED BY: M.Shafie  
LOT: C | SEC: | DP:321575  
COUNCIL AREA : Canterbury-Bankstown Council

SITE ADDRESS: 163 Bexley Road, Kingsgrove  
CLIENT: Calvin  
ISSUED FOR: Issued for DA  
PROJECT TYPE: Residential  
SCALE: 1 : 100  
DATE: Jan 2022

REV: B  
SHEET NO: 03.2



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info@cedardesign.com.au  
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- LANDSCAPE AREA - REAR 314m²  
FRONT EXISTING 58.7m²
- DWELLINGS - EXISTING 299.13m²  
GRANNY FLAT 60m²  
STUDIO 38m²
- SWIMMING POOL - AREA 35m² - VOLUME 36.8m³

Landscaping Notes:

Turfed Area

\* All newly turfed areas to be selected weed free pennistum clandestium.  
Turf shall be laid neatly butted with staggered joints flush with adjacent surfaces and have even running falls to all drainage points.

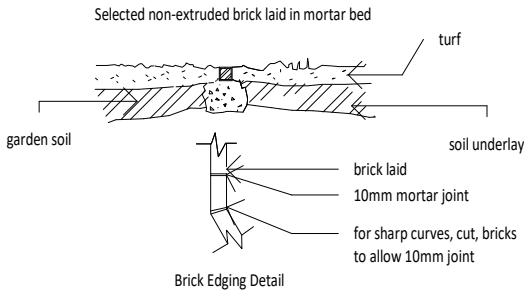
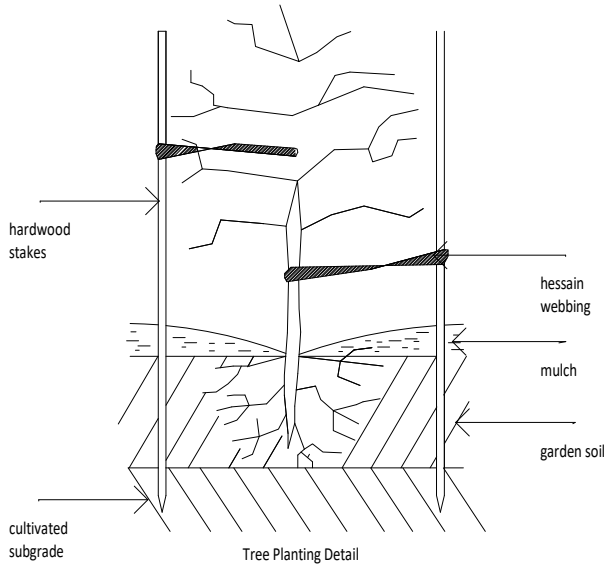
Garden Areas

\* All garden areas are to be filled with 250mm depth of weed free top quality garden soil which has been treated with spent mushroom compost.  
\* Provide a minimum 75mm depth of pine bark flakes or selected leaf mulch to all garden beds.  
\* All new tress shall be double stalked using underwood stakes (1800mm x 25 x 25mm) and double tied with hessain webbing.

General Notes

\* Prior to the commencement of any site works, all existing trees to be retained shall be enclosed with protective fencing to prevent them being damaged during the construction period.  
\* All finished levels are to be verified by the builder on site.  
\* All landscaping work to be in strict accordance to councils/privated certifiers code and guidelines.  
\* This drawing is to be read in conjunction with all submitted architectural.  
\* Hydraulics and engineering drawings where applicable.

Botanic Name	Common Name	Quantity	Staking	Size
Trees				
Shrubs				



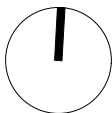
NOTE:  
\* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.  
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CONSULTANTS:


REV	DATE	DESCRIPTION
A	06.01.22	Initial Design
B	07.01.22	Submission

INITIAL  
Khaled  
Khaled

DRAWING TITLE: Concept Landscape Plan  
DRAWN BY: K.Kabbout  
CHECKED BY: M.Shafie  
LOT: C | SEC: | DP:321575  
COUNCIL AREA : Canterbury-Bankstown Council



SITE ADDRESS: 163 Bexley Road, Kingsgrove  
CLIENT: Kalvin  
ISSUED FOR: Issued for DA  
PROJECT TYPE: Residential  
SCALE: As indicated  
DATE: Jan 2022

REV: B

SHEET NO: 05.0



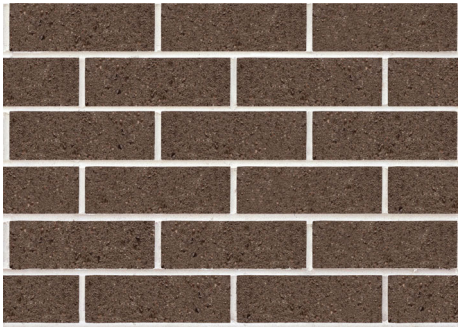
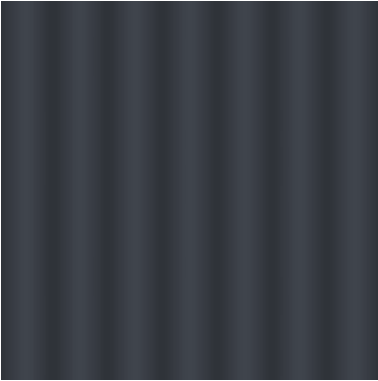


40 Hector St, Chester Hill NSW, 2162  
www.cedardesign.com.au  
info@cedardesign.com.au  
Phone: 0422 704 479  
A.B.N: 87 616 143 661  
Reg #: 2125/16

PROJECT NO: C2132



Window Schedule						
Mark	Location	Window Style	Height	Width	Material	Glazing
W1	Living Room	Double Hung	1800	600	Aluminum	Clear
W2	Living Room	Double Hung	1800	600	Aluminum	Clear
W3	Dining	Slide	900	1810	Aluminum	Clear
W4	Bedroom	Slide	900	1810	Aluminum	Clear
W5	Bedroom	Slide	900	1810	Aluminum	Clear
W6	Bathroom	Slide	943	610	Aluminum	Obscure
W7	Bathroom	Slide	943	610	Aluminum	Obscure
W8	Studio	Double Hung	1800	600	Aluminum	Clear
W9	Studio	Double Hung	1800	600	Aluminum	Clear
W10	Studio	Slide	900	1810	Aluminum	Clear
W11	Kitchen	Slide	900	1810	Aluminum	Clear

Door Schedule						
Mark	Location	Frame Type	Height	Width	Finish	Frame Material
D1	A- Granny Flat FL	Aluminum	2143	2290	Glass	Aluminum
D2	A- Granny Flat FL	Timber	2100	1200	Timber	Timber
D3	A- Granny Flat FL	Timber	2100	720	Timber	Timber
D4	A- Granny Flat FL	Timber	2100	720	Timber	Timber
D5	A- Granny Flat FL	Timber	2100	720	Timber	Timber
D6	A- Granny Flat FL	Timber	2100	820	Timber	Timber
D7	A- Granny Flat FL	Timber	2100	720	Timber	Timber
Grand total: 7						

FINISHING SCHEDULE			
			
EXTERNAL WALLS  AUSTRAL BRICK - EVERDAY LIFE FREEDOM OR SIMILAR	ROOF  COLORBOND IRONSTONE OR SIMILAR	ALUMINUM WINDOWS AND DOORS  POWDER COATED ALUMINUM BLACK	FACSIA & GUTTER  COLORBOND BLACK

<div>NOTE:</div> <div>* Architectural documents are to be read in conjunction with relevant structural, fire service, mechanical, hydraulic, electrical, civil and landscaping documents.</div> <div>* Do not scale drawings. Use figured dimensions only. Inform Architect of any conflict between site conditions and documents. Contractor to verify all dimensions on site before commencing work.</div> <div>*Any extra work entailed hereafter must be claimed and approval obtained before proceeding otherwise no extra will be allowed for.</div> <div>*All materials, appliances, fittings and finishes are to be installed in accordance with the manufacturer's recommendations and in compliance with the relevant Codes &amp; Standards</div> <div>* These drawings are not to be used for construction unless drawings are stamped and endorsed by Building Surveyor.</div> <div>* These documents may only be used for the purpose for which they were commissioned and in accordance with the Terms of Engagement.</div>	CONSULTANTS:	

REV	DATE	DESCRIPTION	INITIAL
A	06.01.22	Initial Design	Khaled
B	07.01.22	Submission	Khaled

DRAWING TITLE:	Schedules
DRAWN BY:	K.Kabbout
CHECKED BY:	M.Shafie
LOT: C	SEC:   DP:321575
COUNCIL AREA :	Canterbury-Bankstown Council

SITE ADDRESS:	163 Bexley Road, Kingsgrove
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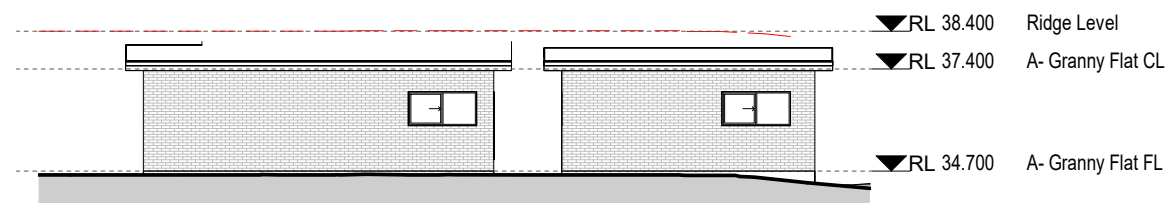
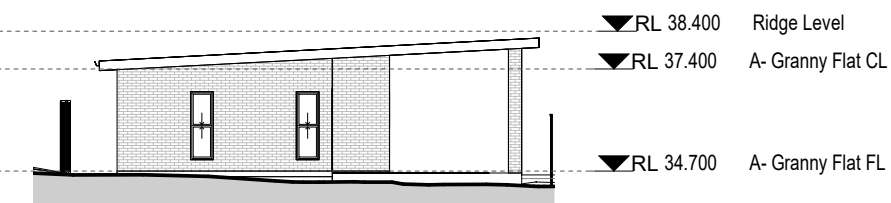
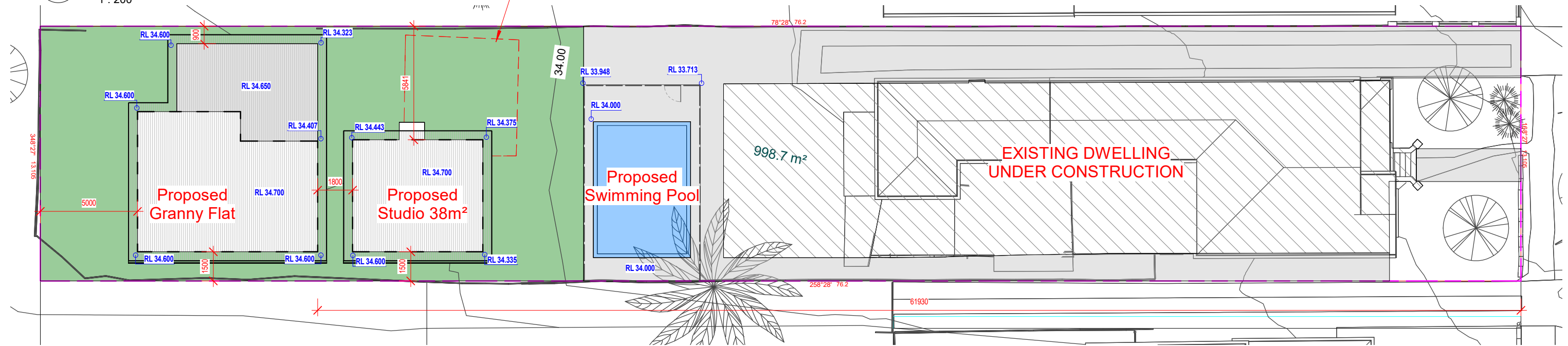
SCALE:	DATE:	Jan 2022	REV:	B	SHEET NO:	06.0
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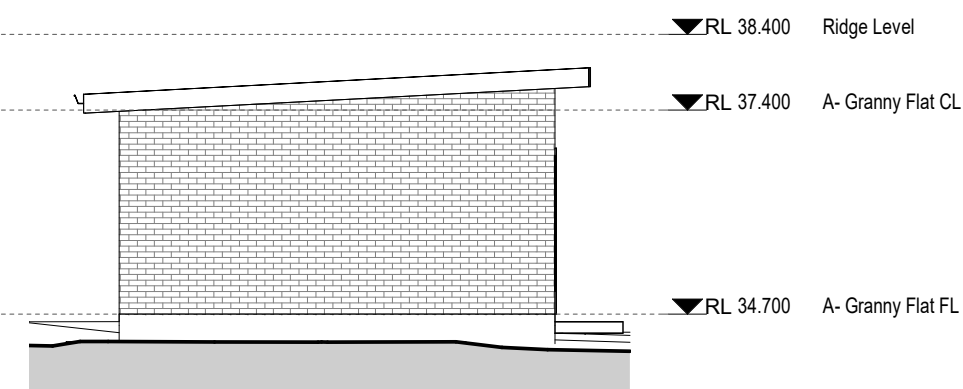
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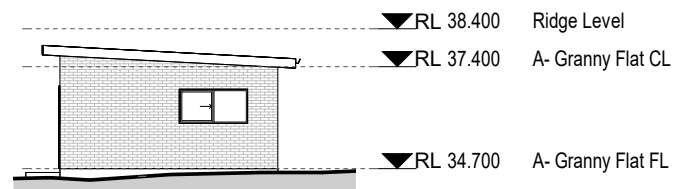
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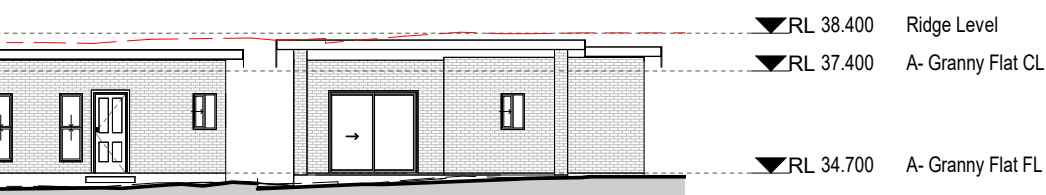
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**3**

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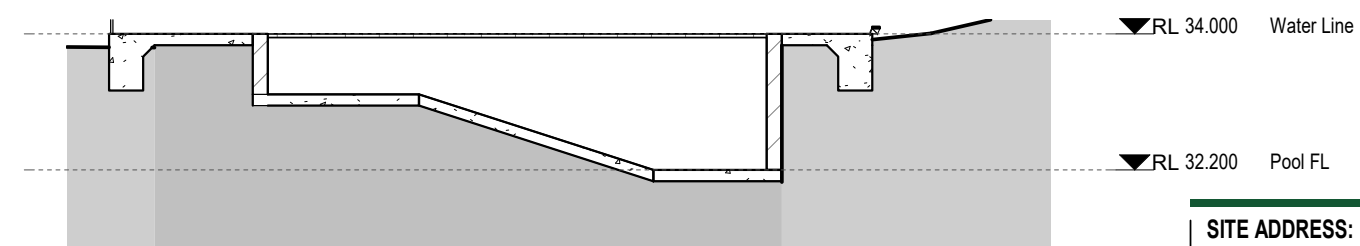
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1 : 200

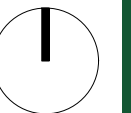
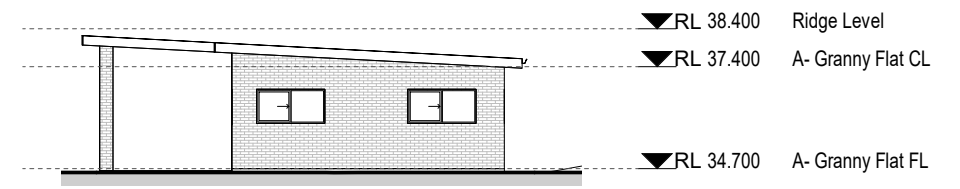


1 : 200



C

1 : 100



**SITE ADDRESS:** 163 Bexley Road, Kingsgrove  
**LOT C | SEC:** | **DP:**321575  
**ISSUED FOR:** Issued for DA  
**PROJECT TYPE:** Residential

**SCALE:** As indicated **DATE:** Jan 2022 **REV:** B **SHEET NO:** 07.0

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10 Emery Ave, Yagoona, NSW, 2199  
[www.cedar-design.com.au](http://www.cedar-design.com.au)  
[info@cedar-design.com.au](mailto:info@cedar-design.com.au)  
A.B.N: 87 616 143 661  
Phone: 0422 704 479

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ASSOCIATION OF AUSTRALIA

Reg #: 2125/16